

ALL SHEDS REQUIRE HOA APPROVAL

- » Sheds added to a homeowner's property after June 25, 2020 must adhere to the requirements outlined in the Architectural Guidelines document on saddlebrookhomeowners.com
- » Storage sheds constructed prior to June 25, 2020 must register with the association to be grandfathered in.
- » To register, email info@saddlebrookhomeowners.com and include the following information: Dimensions (length, width and height), drawing of location on property and a photo
- » Any storage shed on the property that has not been registered with Saddlebrook HOA by December 31, 2020 will be expected to adhere to the requirements below.

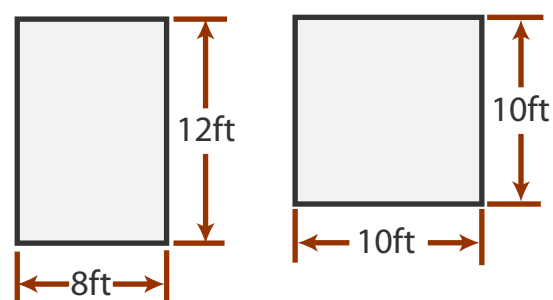
USE

- » Sheds shall not be used as a living space

QUANTITY

- » Only one shed per lot will be approved.

STANDARD APPROVED SIZES

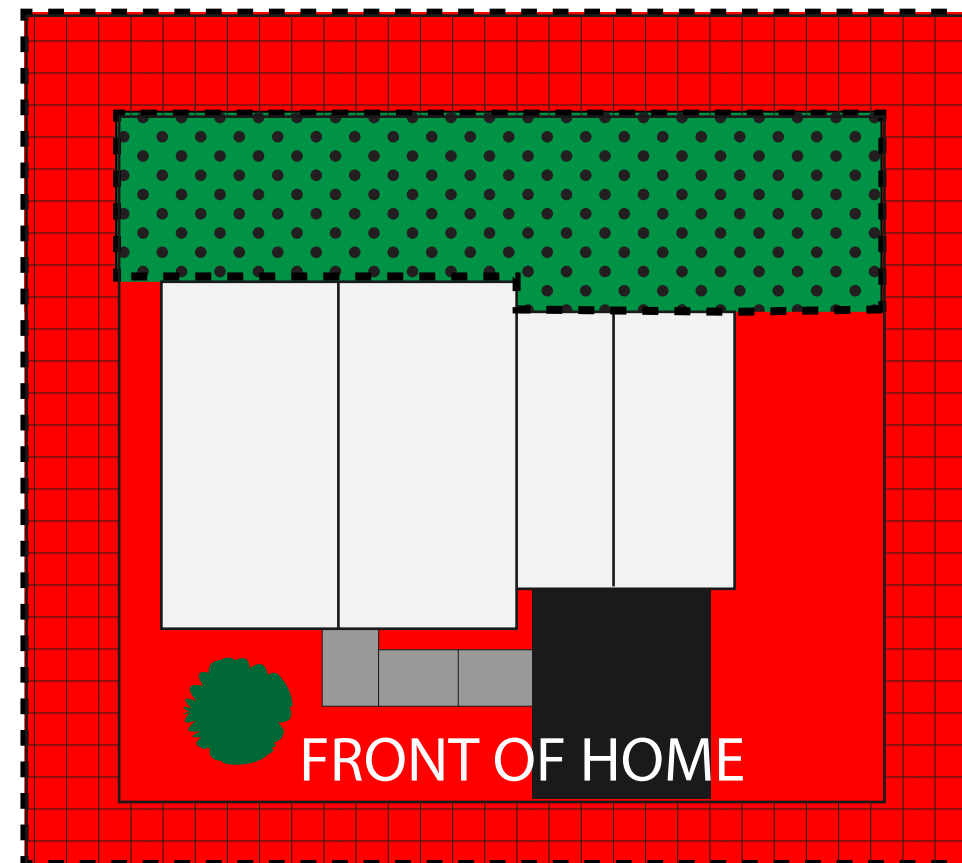


MAXIMUM SIZE



LOCATION

- » Sheds may be located only within the building setback lines and must be in the backyard.



- OK - in back yard and within setback lines
- NOT OK
- NOT OK - outside of setback lines*
- LOT LINE

*Contact zoninginfo@columbus.gov for your setback lines

MATERIALS

- » Exterior cladding should match that on the primary residence in both style and color.
- » Exterior cladding shall be wood, vinyl, or aluminum.
- » No plastic, rubber, fiberglass, or all-metal sheds will be approved.
- » Roof shingles should match as closely as possible those on the primary residence in both style and color.
- » Windows, if present, should match as closely as possible those on the primary structure in both style and color.

STRUCTURE

- » Shed must include a solid floor composed of either:
 - » A 4-inch thick concrete slab.
 - » An integrated floor of suitable building material (e.g. pressure treated lumber)
 - » The area around the foundation must be backfilled; no exposed space under the shed will be permitted.
 - » A suitable barrier must be in place to prevent burrowing animals from making a habitat under the shed.
- » No dirt or gravel floors will be permitted.
- » Exterior walls must be of wooden framed (e.g.. 2 X 4) construction.
- » Roof must be sloped to compliment the primary residence.
- » Flat roofs will not be approved.
- » All sheds must have a door that latches.

UTILITIES

- » Any utilities servicing the shed must be underground. No aboveground utilities of any type will be permitted.
- » Exterior lighting (if installed) shall not exceed one 75 watt light bulb enclosed in a permanent fixture attached to the shed.
- » Efforts must be taken to shield neighbors from light overrun.
- » Once construction begins, storage sheds must be completed within 45 days.

MAINTENANCE

- » Property owners are responsible for the maintenance of all structures on their property, including the shed and any landscaping included, and approved, in the initial request.
- » No items may be stored outside of, or attached to the outside of, the shed.
- » Shed doors should be kept closed and latched when not in use.

HOMEOWNERS MUST SUBMIT STORAGE SHED REQUESTS TO: INFO@SADDLEBROOKHOMEOWNERS.COM

- » Please include the following items:
 - » Aerial drawing of the desired shed placement within your property lines.
 - » Legible hand-drawn submissions are fine.
 - » Shed square footage and overall height.
 - » Anticipated construction and completion dates.
- » You will receive a response with approval or request for more information 3 business days.